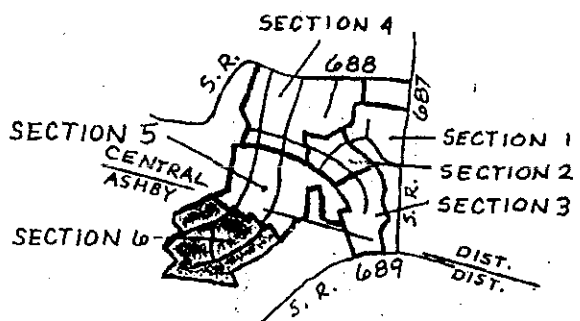


VICINITY SKETCH
1" = 2000'LAKEWOOD, SECTION 6

ASHBY DISTRICT, ROCKINGHAM COUNTY, VIRGINIA

OWNER & DEVELOPER
LAKEWOOD ESTATES, INC.SURVEYOR
BOBBY L. OWENSENGINEER
WILLIAM F. WISE

ZONED R-2

TOTAL AREA = 21.972 AC.

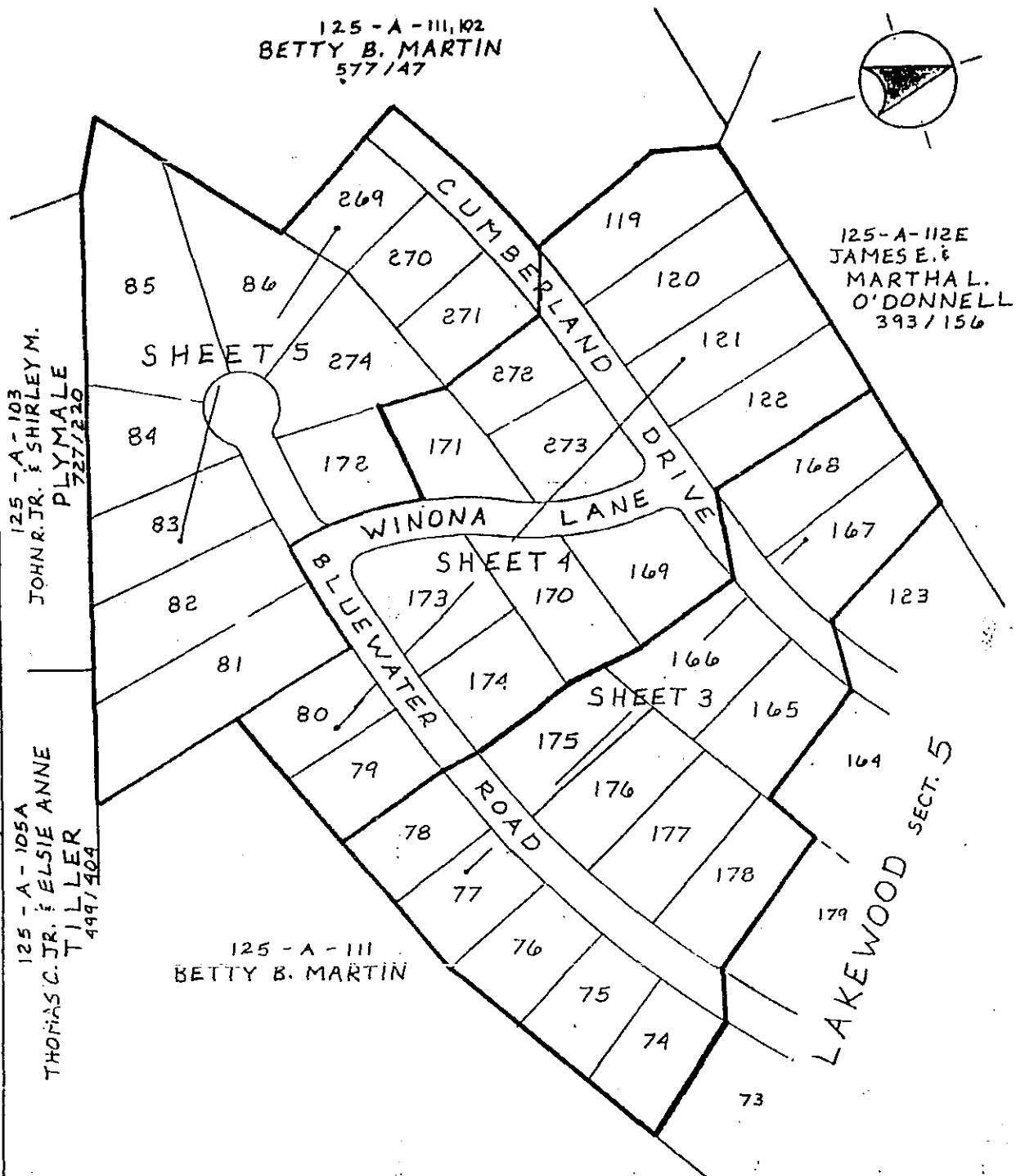
PROJECT 89-020

NOTES

1. Front Setback requirement is 35 feet.
2. A ten foot utility and drainage easement is retained along the front, rear, and sides of each lot.
3. Additional easements are as shown on plat.
4. Lot owner or builder to obtain entrance permit from VDOT prior to construction of driveway.
5. Lot owner or builder to verify location and elevation of sewer laterals prior to establishing house elevations and plan structure accordingly.

SHEET 1 OF 9

PROJECT 89-020



INDEX SHEET LAKEWOOD, SECTION 6

ASHBY DISTRICT, ROCKINGHAM COUNTY, VA

NOT TO SCALE
DATE: 9-18-89
PROJECT # = 89-020

NOTES

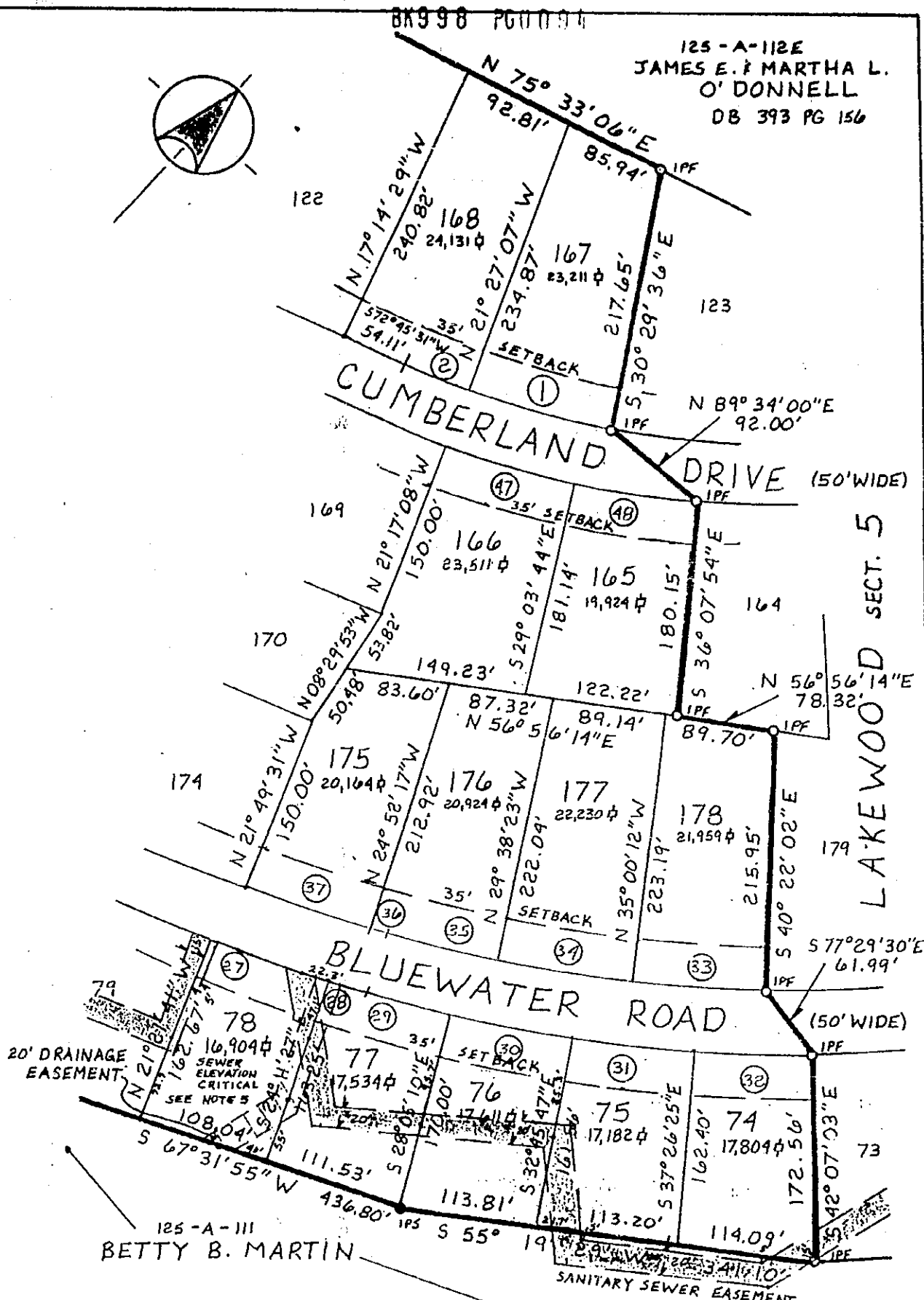
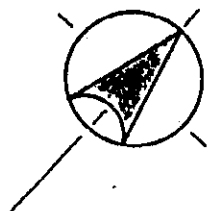
1. Front Setback requirement is 35 feet.
2. A ten foot utility and drainage easement is retained along the front, rear, and sides of each lot.
3. Additional easements are as shown on plat.
4. Lot owner or builder to obtain entrance permit from VDOT prior to construction of driveway.
5. Lot owner or builder to verify location and elevation of sewer laterals prior to establishing house elevations and plan structure accordingly.

SHEET 2 OF 9

PROJECT # 89-020

BK998 PG0001

125-A-112E
JAMES E. & MARTHA L.
O'DONNELL
DB 393 PG 156



LAKESWOOD, SECTION 6

ASHBY DISTRICT, ROCKINGHAM CO., VIRGINIA

SCALE: 1" = 100'
DATE: 9-18-89
PROJECT # 89-020

NOTES

1. Front Setback requirement is 35 feet.
2. A ten foot utility and drainage easement is retained along the front, rear, and sides of each lot.
3. Additional easements are as shown on plat.
4. Lot owner or builder to obtain entrance permit from VDOT prior to construction of driveway.
5. Lot owner or builder to verify location and elevation of sewer laterals prior to establishing house elevations and plan structure accordingly.

R = 1468.22'
A = 268.13'
C = 267.75'
C.B. = N 61° 39' 18" E

125-A-III, 102
BETTY B. MARTIN
DB 577 PG. 47.

102-A-103
JOHN R. JR. & SHIRLEY M.
PLYMALE
DB 727 PG 220

THOMAS C. JR. & ELSIE ANNE
TILLER
DB 499 PG 404

LAKEWOOD, SECTION 6

ASHBY DISTRICT, ROCKINGHAM CO., VIRGINIA.

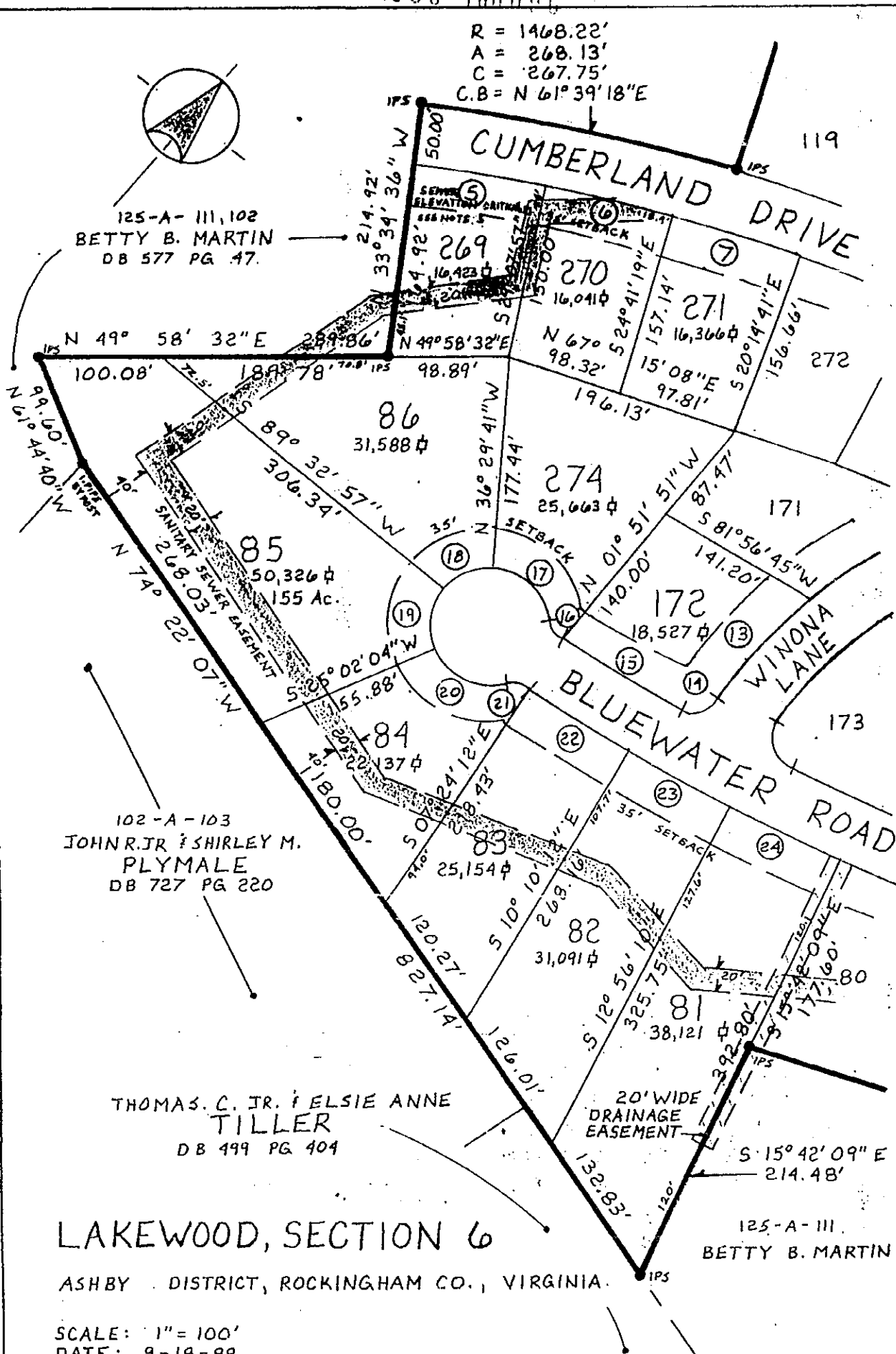
SCALE: 1" = 100'
DATE: 9-18-89
PROJECT # 89-020

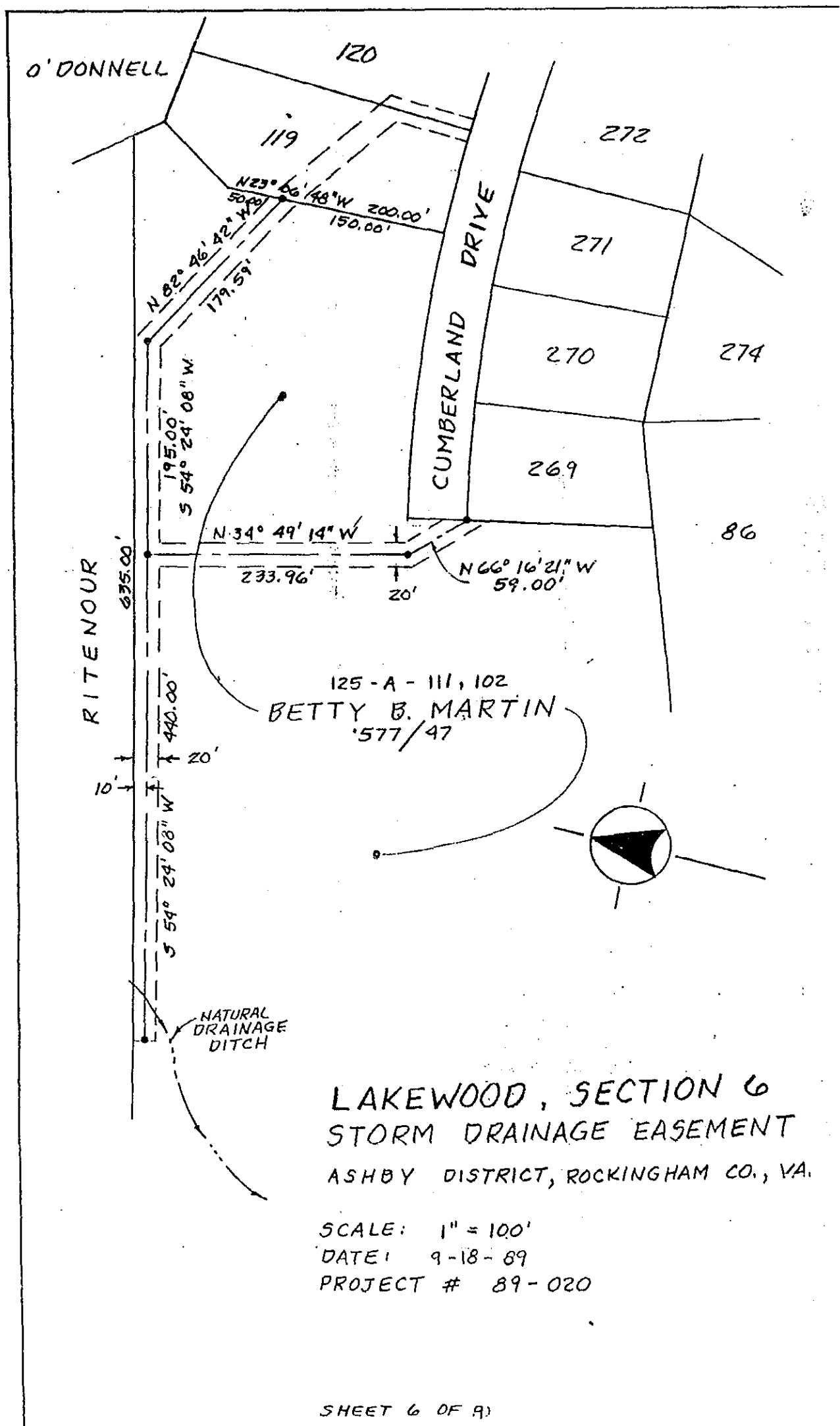
SHEET 5 OF 9

NOTES

1. Front Setback requirement is 35 feet.
2. A ten foot utility and drainage easement is retained along the front, rear, and sides of each lot.
3. Additional easements are as shown on plat.
4. Lot owner or builder to obtain entrance permit from VDOT prior to construction of driveway.
5. Lot owner or builder to verify location and elevation of sewer laterals prior to establishing house elevations and plan structure accordingly.

PROJECT # 89-020





LAKWOOD, SECTION 6
STORM DRAINAGE EASEMENT
ASHBY DISTRICT, ROCKINGHAM CO., VA.

SCALE: 1" = 100'
DATE: 9-18-89
PROJECT # 89-020

CURVE DATA

CURVE #	DELTA	RADIUS	ARC	CHORD	CHORD BEARING
1	09-02-29	760.45	120.00	119.88	S 64-01-38 W
2	04-12-38	760.45	55.89	55.87	S 70-38-55 W
3	01-58-10	1468.22	50.47	50.47	S 71-46-26 W
4	03-54-09	1468.22	100.00	99.98	S 68-50-16 W
5	04-26-38	1418.22	110.00	109.97	N 58-38-43 E
6	04-26-38	1418.22	110.00	109.97	N 63-05-22 E
7	04-26-38	1418.22	110.00	109.97	N 67-32-00 E
8	03-00-12	1418.22	74.34	74.33	N 71-15-25 E
9	99-55-41	25.00	43.60	38.28	S 57-16-38 E
10	23-38-04	315.00	129.94	129.02	S 04-30-14 W
11	07-55-58	315.00	43.61	43.58	S 20-17-11 W
12	14-11-49	400.00	99.11	98.86	S 17-09-19 W
13	16-28-21	400.00	115.00	114.60	S 01-49-14 W
14	95-41-56	25.00	37.39	34.00	S 36-26-01 W
15	03-16-25	1975.00	112.84	112.83	S 80-55-14 W
16	49-00-34	25.00	21.38	20.74	N 72-56-19 W
17	78-03-21	50.00	38.12	32.98	N 87-28-05 W
18	53-57-22	50.00	47.09	45.36	S 26-31-38 W
19	64-30-53	50.00	56.30	53.37	S 32-42-29 E
20	79-51-01	50.00	69.68	64.18	N 75-06-56 E
21	47-24-26	25.00	20.69	20.10	N 58-53-35 E
22	02-45-59	2025.00	97.78	97.77	N 81-12-48 E
23	02-45-59	2025.00	97.77	97.76	N 78-26-49 E
24	02-45-59	2025.00	97.77	97.76	N 75-40-50 E
25	02-49-46	2025.00	100.00	99.99	N 72-52-58 E
26	02-49-46	2025.00	100.00	99.99	N 70-03-12 E
27	02-49-46	2025.00	100.00	99.99	N 67-13-26 E
28	01-11-51	2025.00	42.32	42.32	N 65-12-38 E
29	02-41-52	1225.00	57.68	57.67	N 63-15-46 E
30	04-40-38	1225.00	100.00	99.97	N 59-34-32 E
31	04-40-38	1225.00	100.00	99.97	N 54-53-54 E
32	04-40-38	1225.00	100.00	99.97	N 50-13-16 E
33	05-21-50	1175.00	110.00	109.96	S 52-18-53 W
34	05-21-50	1175.00	110.00	109.96	S 57-40-43 W
35	04-15-05	1175.00	87.18	87.16	S 62-29-10 W
36	00-31-01	1975.00	17.82	17.82	S 64-52-12 W
37	03-02-46	1975.00	105.00	104.99	S 66-39-06 W
38	03-46-17	1975.00	130.00	129.98	S 70-03-38 W
39	04-22-43	1975.00	150.93	150.89	S 74-08-06 W
40	99-02-51	25.00	43.22	38.03	N 54-09-06 W
41	21-32-22	350.00	131.58	130.80	N 06-08-31 E
42	07-20-32	350.00	44.85	44.82	N 20-34-53 E
43	13-03-56	365.00	83.23	83.05	N 17-43-14 E
44	21-03-50	365.00	134.19	133.43	N 00-39-23 E
45	82-38-03	25.00	36.06	33.01	N 31-26-30 E
46	04-02-39	310.45	57.21	57.19	N 70-44-11 E
47	07-46-36	310.45	110.00	109.92	N 64-49-34 E
48	07-04-11	310.45	100.00	99.94	N 57-24-11 E

LAKEWOOD, SECTION 6

OWNER'S CONSENT AND DEDICATION

The platting or dedication of the following described land:

BEGINNING at an iron pin found in the line of O'Donnell, a corner with Lot 123 of Lakewood Section 5; thence with the lines of Section 5 beginning with Lot 123

S 30-29-36 E 217.65 feet

to an iron pin found on the northwest side of Cumberland Drive; thence crossing said drive

N 69-34-00 E 92.00 feet

to an iron pin found on the southeast side of said drive, a corner with Lot 144; thence with Lot 144

S 96-07-54 E 100.15 feet

to an iron pin found; thence

N 56-56-14 E 70.32 feet

to an iron pin found, a corner with Lot 179; thence with Lot 179

S 40-22-02 E 215.95 feet

to an iron pin found on the northwest side of Bluewater Road; thence crossing said road

S 77-29-30 E 61.99 feet

to an iron pin found on the southeast side of said road, a corner with Lot 73; thence with Lot 73

S 42-07-03 E 172.56 feet

to an iron pin found, a corner with Betty B. Martin; thence with the lines of Martin

S 55-19-29 W 341.10 feet

to an iron pin set; thence

S 67-31-55 W 496.00 feet

to an iron pin set; thence

S 15-42-09 E 214.49 feet

to an iron pin set in the line of Tiller; thence with Tiller in part and continuing with Plymale

N 74-22-07 W 827.14 feet

to an iron pipe by a post, a corner with Betty B. Martin; thence with Martin

N 61-44-40 W 99.60 feet

to an iron pin set; thence

N 49-58-32 E 269.86 feet

to an iron pin set; thence

N 39-34-36 W 214.92 feet

to an iron pin set, the p.c. of a curve to the right having a radius of 1460.22 feet; thence with the arc of said curve 260.13 feet

Long Chord N 61-39-10 E 267.75 feet

to an iron pin set at the p.t. of said curve; thence

N 29-06-40 W 200.00 feet

SHEET 8 OF 9

to an iron pin set; thence

BK 990 100100

N 12-25-06 E 78.46 feet

to a planted stone, a corner with O'Donnell; thence with O'Donnell

N 75-33-06 E 540.58 feet

to the beginning and containing 21.972 acres and designated as Section 6, Lakewood, located in Ashby District, Rockingham County, Virginia, is with the free consent and in accordance with the desires of the undersigned owners thereof; that all streets shown on said plat are hereby dedicated to the public use, and that all lots within the subdivision are subject to certain restrictions, reservations, stipulations and covenants as contained in a writing executed by the undersigned, under date of Feb. 1, 1990, and recorded in the Clerk's office of Rockingham County, in Deed Book 998, Page 61. The said 21.972 acres of land hereby subdivided having been conveyed to Lakewood Estates Inc. from Betty B. Martin by deed dated Feb. 1, 1990 and recorded in the Clerk's Office of the Circuit Court of Rockingham County, Virginia in Deed Book 998, Page 55.

Given under our hands this 12th day of November, 1989.

Lakewood Estates, Inc., (SEAL)

by

Betty B. Martin, President, (SEAL)

(SEAL)

NOTARY CERTIFICATE:

STATE OF VIRGINIA; CITY/COUNTY OF Harrisonburg, to-wit:

The foregoing owner's consent and dedication was acknowledged before me by Betty B. Martin, Pres. of this 12th day of November, 1989.

Lakewood Estates, Inc.

My commission expires: 8/3/90

Shelley A. Hamilton
Notary Public

CERTIFICATE OF APPROVAL

This subdivision known as Lakewood; Section 6 is approved by the undersigned in accordance with existing subdivision regulations and may be admitted to record this 12 day of Nov, 1990.

11-20-89
date

M. J. DeBorne
Highway Engineer

11/22/89
date

G. D. Doren, MD
Health Officer

1/12/90
date

Walter Voss
Chairman or Agent Board of Supervisors

Note: Public water and sewer by Rockingham County

SURVEYOR'S CERTIFICATE

I hereby certify that to the best of my knowledge and belief, all of the requirements of the board of supervisors and ordinances of the County of Rockingham, Virginia, regarding the platting of subdivisions within the county have been complied with.

Given under my hand this 12th day of Oct., 1989.

Robert A. Curran
State Certified Land Surveyor

VIRGINIA: In the Clerk's Office of the Circuit Court of R. Appomattox County
The foregoing instrument was this day presented to the office aforesaid, and is
together with the certificate of the clerk thereof, admitted to record on the
1 day of July 19 90 at 3:17 P. M. It is hereby that
taxes were paid when applicable.

Sec. 58:54 - 51:55 County _____ City _____
Sec. 58:54.1 - 51:55 County _____ City _____ Transfer _____
Recording 15 00 _____

L. WAYNE HARPER
CLERK

Deed Book No. 998 Page 92

90 FEB -1 10 10
10 10 10

001313